

18529 W. CALVERT ST. RESEDA CA 91335

PROJECT ADDRESS

18529 W. CALVERT ST.
RESEDA, CA 91335

PROJECT OWNER

DESIGN & STRUCTURE ENGINEER

G.A. ENGINEERING 19562
VENTURA Blvd. Suite 230
TARZANA, CA. 91356
Phone: (818) 758-0018

PUBLIC WORKS PLANS:

SURVEY :

5642 ETIWANDA AVENUE, UNIT NO. 9, TARZANA CA 91356
Phone: (818) 482-6532, E-mail: kklisurveying@gmail.com.

GEOTECHNICAL ENGINEER

ARCHITECTURAL

SHEET	TITLE
A-0	COVER SHEET
A-1	SITE PLAN
A-2	BASEMENT FLOOR
A-3	FIRST FLOOR
A-4	SECOND FLOOR
A-5	THIRD FLOOR
A-6	FOURTH FLOOR
A-7	ROOF PLAN
A-8	NORTH&WEST ELEVATIONS
A-9	SOUTH&EAST ELEVATIONS
A-10	SECTIONS
A-11	DOOR & WINDOW SCHEDULE

LANDSCAPING

L-1 LANDSCAPE PLAN

PROJECT DATA

ADDRESS:	18529 W. CALVERT ST. RESEDA, CA 91335
PROJECT SCOPE:	(24) UNIT APARTMENT BUILDING, 3-STORY RESIDENTIAL/GARAGE OVER BASEMENT
LEGAL DESCRIPTION	THE WEST 144 FEET OF LOT 33 OF TRACT NO. 7691, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 89, PAGES 23 AND 24 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AND AS DESCRIBED IN THE DEED RECORDED AS INSTRUMENT NO. 20140145758 OF OFFICIAL RECORDS OF SAID COUNTY.
ASSESSOR PARCEL NO. (APN)	2127015026
BUILDING CODE:	2013 CBC AS AMENDED BY CITY OF LOS ANGELES
EXISTING ZONE:	RA-1-K-RIO
PROPOSED ZONE:	(T)(Q)R3-1-K-RIO
GENERAL PLAN LAND USE	MEDIUM RESIDENTIAL
COMMUNITY PLAN AREA	RESEDA - WEST VAN NUYS
AREA PLANNING COMMISSION	SOUTH VALLEY
TYPE OF CONSTRUCTION:	BASEMENT- TYPE "1A" GARAGE, FULLY SPRINKLERED THROUGHOUT (NFPA-13) IST Thru 4TH FLOORS, TYPE V-A , FULLY SPRINKLERED THROUGHOUT (NFPA-13)
GROSS LOT AREA:	16,561.1 SQFT
NET LOT AREA:	13,661.1 SQFT
PROPOSED BUILDING HEIGHT:	45 FEET
OCCUPANCY GROUP	R-2 / S-2 PARKING
BUILDING SETBACKS:	FRONT YARD : 15 FEET SIDE YARDS: 6 FEET REAR YARD : 15 FEET
STORIES:	3-STORY RESIDENTIAL OVER BASEMENT GARAGE

PARKING CALCULATION

PARKING REQUIRED PER LAMC 12.22.25
(AFFORDABLE HOUSING), PARKING OPTION 1

	# OF UNITS	AUTO PARKING	TOTAL
1- BDRM	10	1	10
2- BDRM	14	2	28
3-BDRM	0	0	0
TOTAL	24		38

PROVIDE • (3) SHORT-TERM BICYCLE PARKING
• (24) LONG-TERM BICYCLE PARKING

PARKING PROVIDED

	PARKING No.
STANDARD	23
COMPACT	22
DISABLE PARKING, RESIDENTS	1
TOTAL AUTO PARKING RESIDENTS	46
TOTAL LONG TERM BICYCLE PARKING	24
TOTAL SHORT TERM BICYCLE PARKING	3
TOTAL PARKING	46

OPEN SPACE CALCULATION

REQUIRED

NO. OF BEDROOMS	NO.OF HABITABLE ROOMS	QUANT.	OPEN SPACE
1	2	10	10 X 100 = 1000
2	3	14	14 X 125 = 1,750
3	4	-	0 X 175 = 0
TOTAL		24	2,750 SQ.FT.

PROVIDED

AREA DESCRIPTION	OPEN SPACE
CENTER COURT YARD, FIRST FLOOR	548 SQ.FT.
BALCONIES, 18' X 50	900 SQ.FT.
REAR YARD	1,500 SQ.FT.
TOTAL	2,948 SQ.FT.

AREA SUMMARY (LABC)

STORY	OCC.	USE	A GROSS AREA (OUT TO OUT BLDG) SQ. FT.	B AREA: EXTERIOR WALLS SQ. FT.	C AREA: VENT SHAFTS SQ. FT.	D AREA: STAIRWAYS ELEVATOR SQ. FT.	A-B-C BUILDING CODE FLOOR AREA SQ. FT.	A-B-C-D ZONING CODE FLOOR AREA SQ. FT.
BASEMENT	S-2	PARKING	11,892				11,892	11,892
FIRST	S-2	PARKING	6,70				670	670
	R-2	RESIDENTIAL	6,292	249	6	326	6,037	5,711
SECOND	R-2	RESIDENTIAL	8,660	219	6	464	8,441	7,977
THIRD	R-2	RESIDENTIAL	8,660	219	6	464	8,441	7,977
TOTAL	S-2		12,562				12,562	12,562
	R-2						22,919	21,665

ZONE CHANGE NOTES:

- 1) CURRENT GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL, MEDIUM RESIDENTIAL
- 2) PROPOSED GENERAL PLAN DESIGNATION: NO CHANGE
- 3) CURRENT ZONE: RA-1-K-RIO
- 4) PROPOSED ZONE:(T)(Q) R3-1-K-RIO

(T)(Q)R3-1

DENSITY CALCULATION:

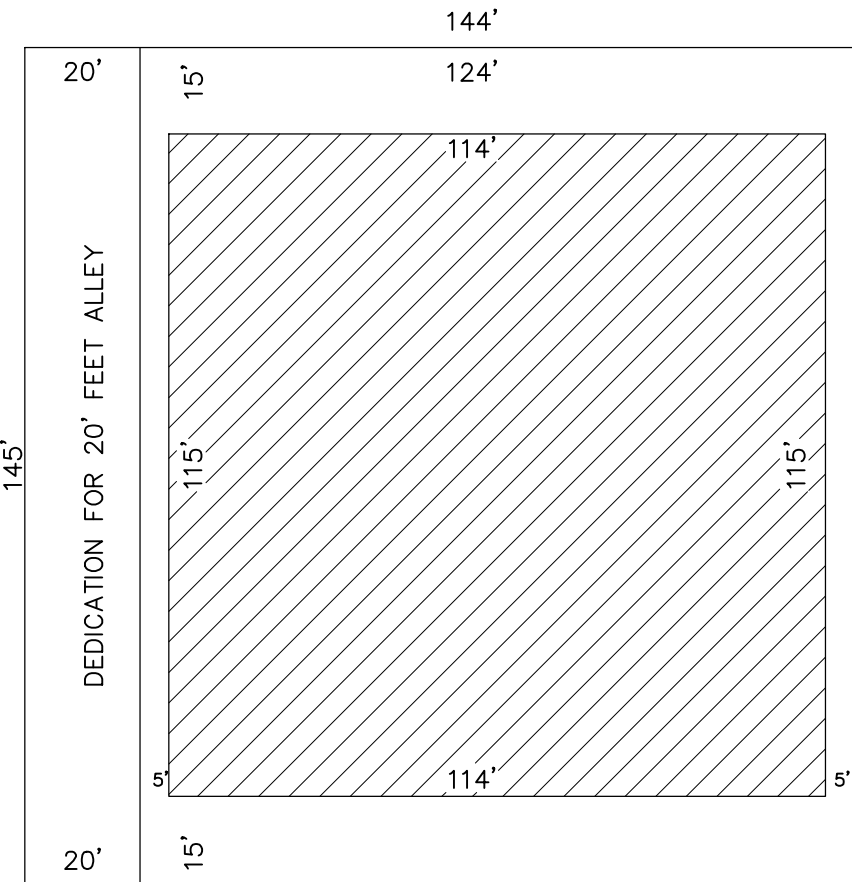
(T)(Q) R3-1 :
16,561.1 / 800 = 20.7 = 20

DENSITY BONUS:
UNIT ALLOCATED TO VERY LOW INCOME= 5% X20 =1
BONUS UNITS = 20% X20=4
TOTAL UNITS=20+4 = 24 UNITS

FLOOR AREA CALCULATION:

R3 PORTION: 3:1 FAR

3X 115'X114'= 39,330 SQ.FT.



SCHOOL DISTRICT ASSESSABLE

STORY	USE	AREA (SQ.FT.)
FIRST	DWELLING UNITS	6,292
SECOND	DWELLING UNITS	8,660
THIRD	DWELLING UNITS	8,660
TOTAL		23,612

ATTACHMENT A

ATTACHMENT A

Job Address _____ Permit # _____

CITY OF LOS ANGELES

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction
Projects/Certification Statement

The following notes shall be either incorporated or attached to the approved construction/grading plans and represents the minimum standards of good house keeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown. It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or original sign work. -NPEDS Permit Part 5 "Definitions"

- Eroded sediments and pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil or the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed o in a proper manner. Spills may not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into public way or any drainage system. Provisions shall be made to retain concrete wastes on-site until they can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be trucked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, nd I certify that I will comply with these requirements.

Print name _____
(Owner or authorized agent of the owner)

Signature _____ Date: _____
(Owner or authorized agent of the owner)

DEVELOPMENT BEST MANAGEMENT PRACTICES HANDBOOK

ATTN. OWNERS/CONTRACTORS:

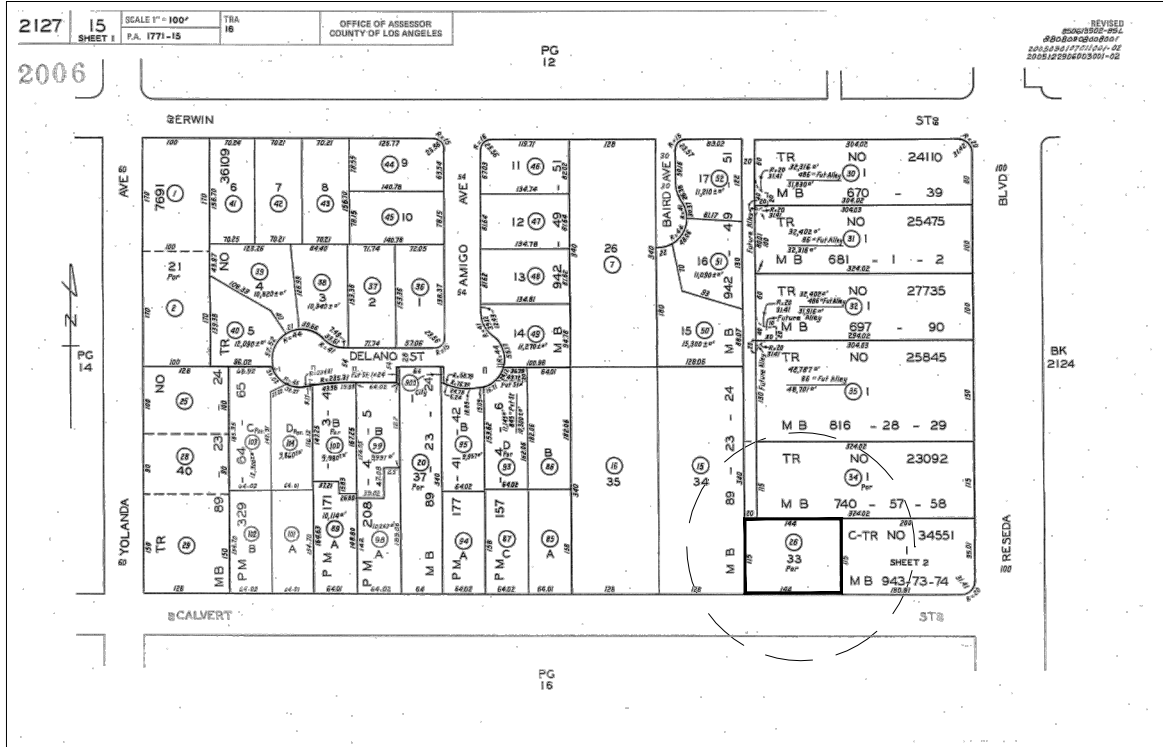
It is the responsibility of the contractor to examine all plans and specifications prior to starting the construction work. Contractor shall verify all discrepancies and omissions. Contractor may contact architect/engineer for any questions details, specifications and clarifications. The architect/engineer shall not be responsible for any shortcomings on the part of the contractor or any error caused by the contractor as a result of lack of planning and/or foresight. Each contractor shall visit the site and verify all dimensions, grades and con-ditions at the site before commencing work and report all discrepancies and modified field conditions to the architect/engineer in writing. Contractor may provide only preliminary bids based on this plan, if this is not approved and stamped by the city. Final bids shall be based on approved plans only. If no general contractors retained for the job, knowledgeable project manager, job supervisor to act as his agent and assume all responsibilities.

NOTE

OBTAIN SEPARATE APPLICATION FOR THE FOLLOWING ITEMS:

RETAINING WALLS, GRADING WORK, BLOCK FENCE, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING WORK, SHORING AND DEMOLITION.

VICINITY MAP



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REVISION

BY

OWNER

MARK COLESTANI 6520
PLAAT AVE # 904 WEST
HILL CA 91309

PROJECT

18529 W. CALVERT ST.
RESEDA, CA 91335

DRAWING TITLE

COVER SHEET

DATE: JUN 2014

SCALE: 1/8"=1'-0"

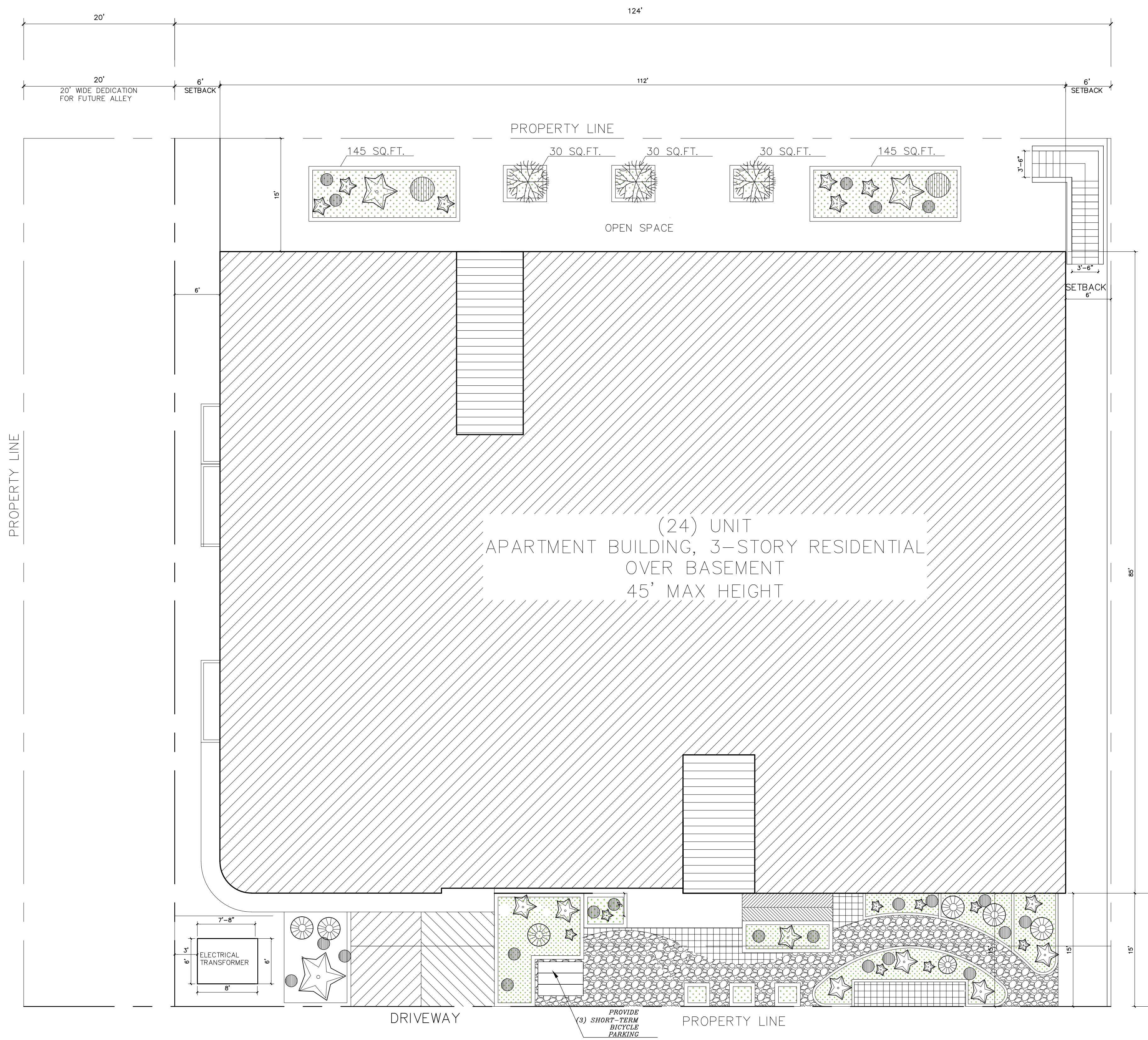
DRAWN:

APPROVED: VA

JOB : 14-533

SHEET:

A-0
SHEETS



L E G E N D

- 1 BUILDING ENTRANCE
- 2 3-STORIES BUILDING WITH PARKING GARAGE
- 3 WALKWAY
- 4 NEW DRIVEWAY
- 5 LANDSCAPING
- 6 PLANTER
- 7 FOR IRRIGATION CONTROLLER (4.304.1) REFER TO N-1 GB SHEET
- 8 BALCONY

NOTE:

1-The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (powder poles, pull boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

2- "DOUBLE STRIPPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART No. 5"

3- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK THE LANDSCAPE CERTIFICATION FROM GRN-12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. SEE GRADING PLANS FOR DRAINAGE

4- FOR KNOX BOX NOTES REFER TO N- SHEETS

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REVISION	BY

OWNER	PROJECT	SITE PLAN
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309	18529 W. CALVERT ST. RESEDA,	

DATE: MARCH 2015

SCALE: 1/8"=1'-0"

DRAWN: SA

APPROVED: VA

JOB : 14-533

SHEET: A-1

D O O R S C H E D U L E

[illegible]

SLIDING WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	GLASS	FRAME	WALL OPENING WIDTH	DESCRIPTION	REMARKS	W I N D O W T Y P E S
(A)		6'-0"	5'-0"		VINYL		SINGLE HUNG	DUAL GLAZED	NOTE: ALL GLAZING WITHIN 40" OF ENTRY DOOR HANDLE SHALL BE TEMPERED.
(B)		5'-0"	4'-0"		VINYL		SLIDING	DUAL GLAZED	
(C)		3'-0"	3'-0"		VINYL		FIXED	DUAL GLAZED	
(D)		3'-0"	2'-0"		VINYL		FIXED	DUAL GLAZED	
(E)		8'-0"	5'-0"		VINYL		SLIDING	DUAL GLAZED	
(F)		12'-0"	4'-0"		VINYL				
(G)		8'-0"	4'-0"						
(H)		4'-0"	4'-0"						

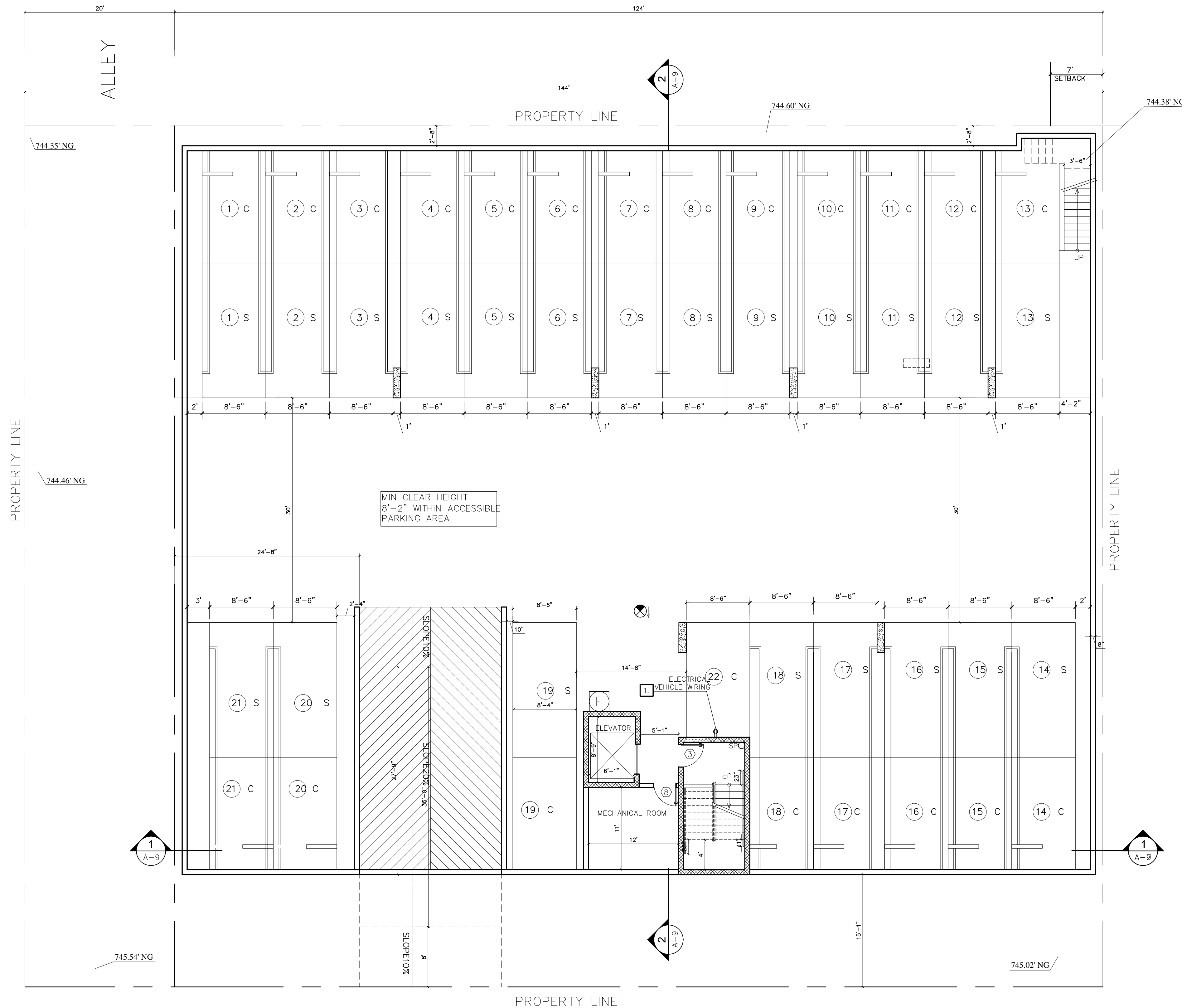
REFERENCE NOTES

NOTE: WHERE MORE THAN ONE MATERIAL OR FINISH IS LISTED REFER TO FLOOR PLAN AND/OR INTERIOR ELEVATIONS FOR CLARIFICATION.

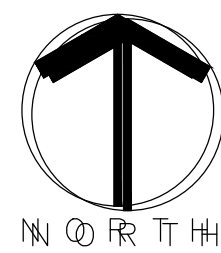
- | | | | | | |
|---|--------------------|---|-------------------------------------|---|---------------------|
| ① | EXPOSED CONC. WALL | ⑬ | CONC. WALL W/SMOOTH FINISH | ⑳ | WOOD BASE |
| ② | CARPET AND PAD | ⑭ | CONC. WALL W/GYP. BD. O/BATT. INSUL | ㉑ | EALSTOMERIC TOPPING |
| ③ | EXPOSED CONC. SLAB | ⑮ | CONC. BLOCK WALL | ㉒ | HARDWOOD FLOORING |
| ④ | SHEET VINYL | ⑯ | GLASS WALL | ㉓ | |
| ⑤ | VINYL BASE | ⑰ | CEMENT PLASTER W/INTG. COLOR | ㉔ | |
| ⑥ | ENAMEL PAINT | ⑱ | CONC. SLAB CEILING | ㉕ | |
| ⑦ | FLAT LATEX PAINT | ㉑ | FURRED CEILING W/GYP. BOARD | ㉖ | |
| ⑧ | GYP. BOARD | ㉒ | SUSPENDE A.T. CEILING | ㉗ | |

REFERENCE NOTES

DATE: JUN 2014		JOB: 14-533		SHEET: A-10	
SCALE: 1/8"=1'-0"		APPROVED: VA.		SHEETS	
DRAWN:		DOOR & WINDOW SCHEDULE		DRAWING TITLE	
PROJECT		18529 W. CALVERT ST. RESEDA, CA 91335		OWNER	
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309					
REVISION		BY		G.A. ENGINEERING	
				19562 VENTURA BLVD. SUITE 230 TARZANA, CALIFORNIA 91356 Phone : (818) 758-0018 Fax : (818) 758-0025 Cell : (818) 708-2847 for : (818) 708-2847	



CALVERT STREET
BASEMENT FLOOR PLAN
SCALE : 1/8"=1'-0"



L E G E N D

- WALL
- 2 HOUR RATED STC 50
- 1 HOUR RATED STC 50
- SD
HARD WIRED SMOKE DETECTOR W/
BATTERY BACK-UP
- CM
CARBON MONOXIDE & HARD WIRED
SMOKE DETECTOR W/ BATTERY
BACK-UP
- MECHANICAL VENT, 7 1/2 AIR
CHANGE PER HOUR, DIRECTLY TO
THE OUTSIDE "ENERGY STAR" W/
HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO
OUTSIDE MAXIMUM 14' LENGTH W/TWO
ELBOWS FROM DRYER
- EXIT SIGN
- WATER CURTAIN
- WATER HEATER
- CLASS "I" STANDPIPE
- 1. BALCONY W/ CROSSFIELD PRODUCTS CORP.
DEX-O-TEX COATING (1CBO#2360) OR
EQUAL, ICC-ESR-1757 TYPE
- SQ.FT. LANDSCAPING SQUARE FEET
- F 2A10BC FIRE EXTINGUISHER
W/ SEMI- RECESSED CABINET.
INSTALL MAX. 48" AFF. TO THE TOP
- 1. ELECTRICAL VEHICLE SUPPLY WIRING
FOR FUTURE, REFER TO SHEET
N-1(GB)

N O T E S

- "TEMPORARY PEDESTRIAN PROTECTION
SHALL BE PROVIDED AS REQUIRED PER SECTION
3306. OBTAIN PUBLIC WORKS APPROVAL
(3201.3,3202.3.4,3306).
- "DOUBLE STRIPING OF STALLS BE PER
ZONING CODE SECTION 12.21A5, CHART No5"
- ELEVATOR LOBBY DOOR PROVIDED PER
SECTION 708.14.1-EXCEPTION 3.

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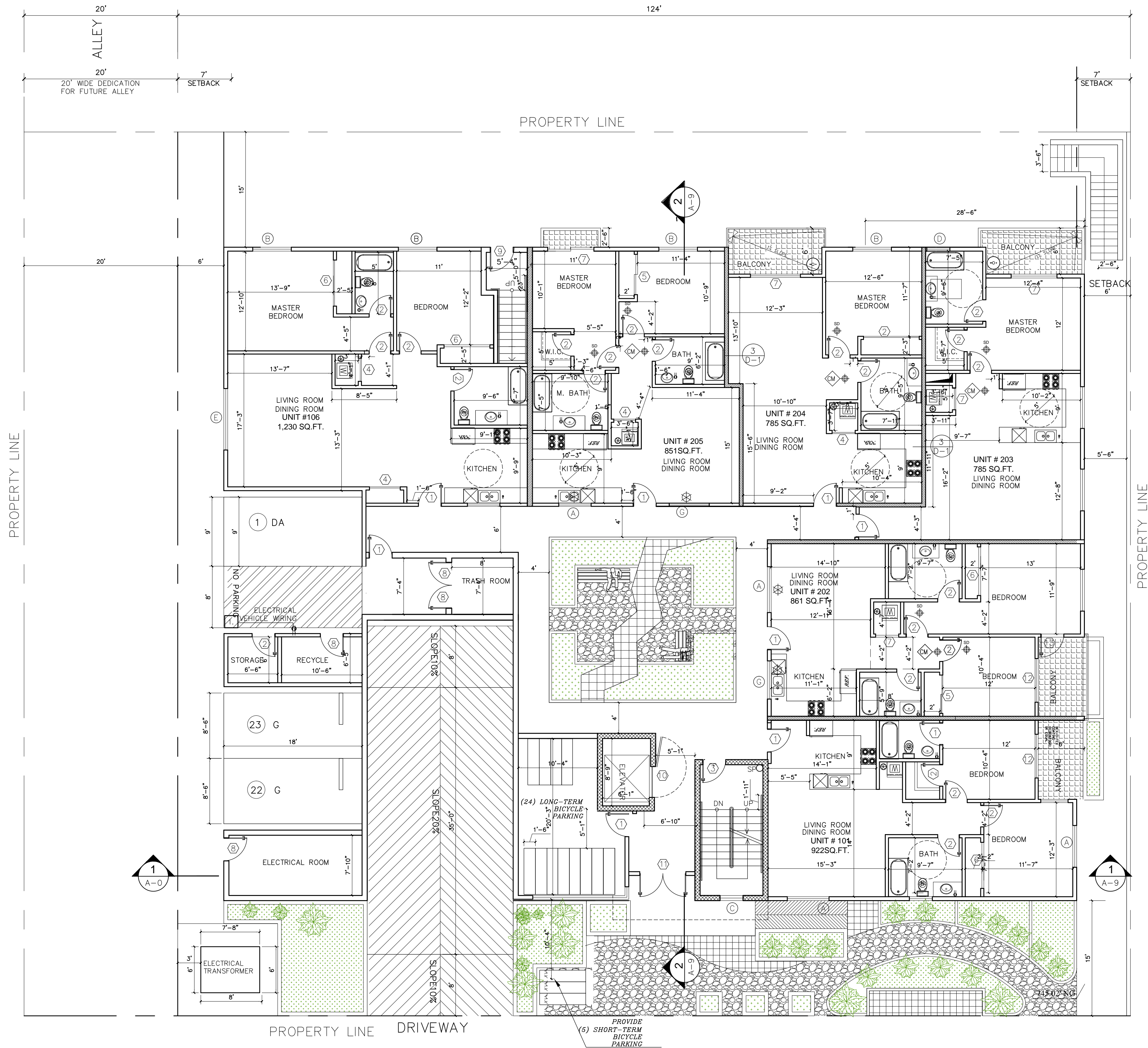
REVISION	BY

OWNER	PROJECT
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309	18529 W. CALVERT ST. RESEDA,

DRAWING TITLE
BASEMENT FLOOR PLAN

DATE:	MARCH 2015
SCALE:	1/8"=1'-0"
DRAWN:	SA
APPROVED:	VA
JOB :	14-533
SHEET:	

A-2
SHEETS



CALVERT STREET

FIRST FLOOR PLAN

SCALE : 1/8"=1'-0"

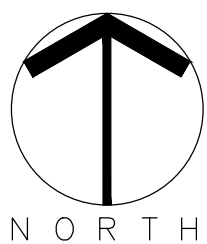
L E G E N D

- WALL
- 2 HOUR RATED STC 50
- 1 HOUR RATED STC 50
- SD
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CM
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- EXIT SIGN
- WATER CURTAIN
- WATER HEATER
- CLASS "I" STANDPIPE
- 1. BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CBO#2360) OR EQUAL, ICC-ESR-1757 TYPE
- SQ.FT.
- LANDSCAPING SQUARE FEET
- F
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- 1.
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)

N O T E S

FIRE RATED WALLS

- ALL PARTY WALLS SHALL BE 1 HOUR RATED STC50
 - WALLS IN SHAFTS AS ELEVATOR, STAIRWAY, ETC SHALL BE 2 HOURS RATED
 - CORRIDORS SHALL BE 1 HOUR RATED
 - ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED.
- * WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.



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REVISION	BY

OWNER

MARK COLESTANI 6520
PLAAT AVE # 904 WEST
HILL CA 91309

PROJECT

18529 W. CALVERT ST.
RESEDA,

DRAWING TITLE

FIRST FLOOR PLAN

DATE: MARCH 2015

SCALE: 1/8"=1'-0"

DRAWN: SA.

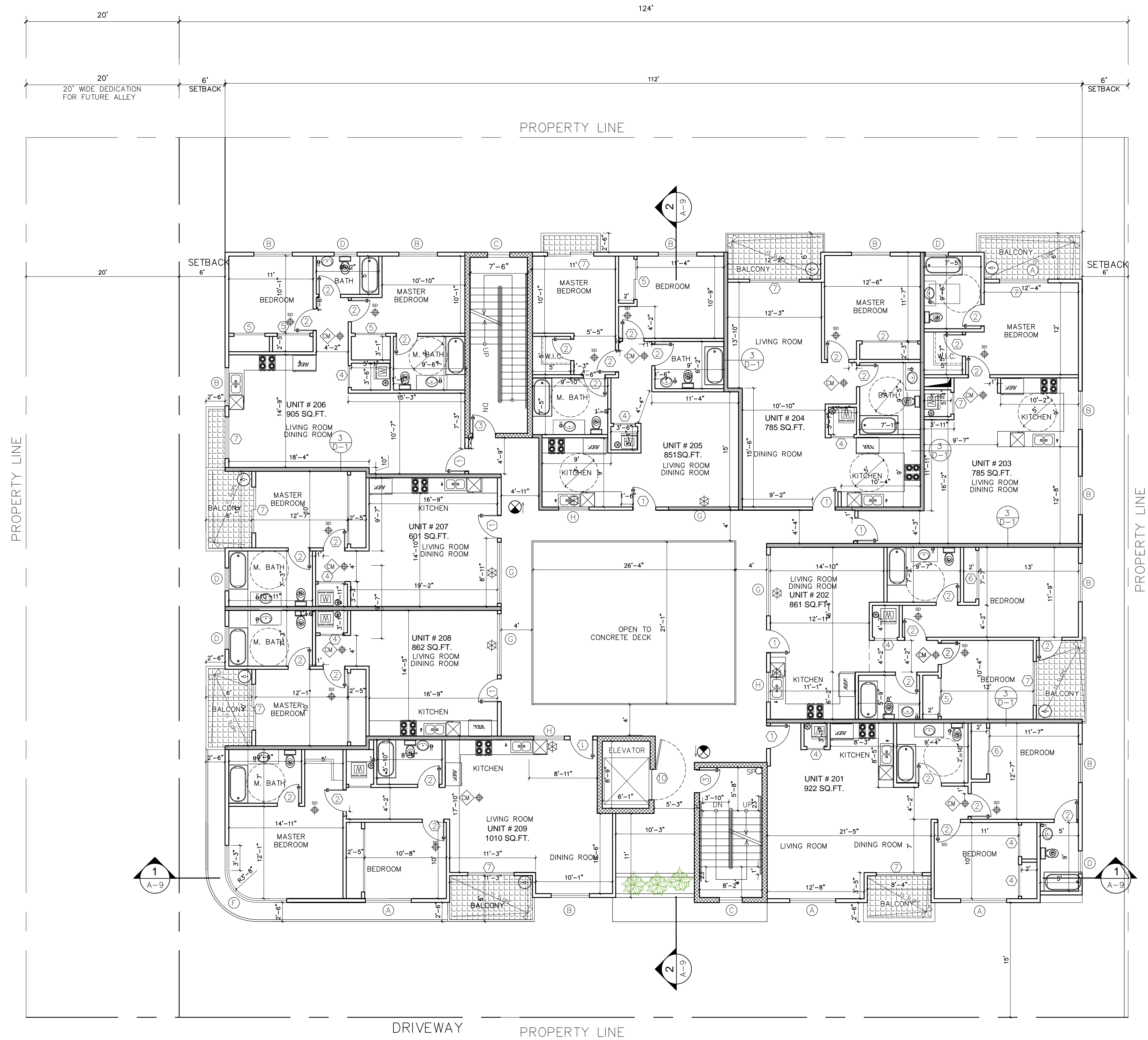
APPROVED: VA.

JOB : 14-553

SHEET:

A-3

SHEETS



SECOND FLOOR PLAN

SCALE : 1/8"=1'-0"

LEGEND

- WALL
- 2 HOUR RATED STC 50
- 1 HOUR RATED STC 50
- SD
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CM
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- EXIT SIGN
- WATER CURTAIN
- WATER HEATER
- CLASS "I" STANDPIPE
- 1. BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CBO#2360) OR EQUAL, ICC-ESR-1757 TYPE
- SQ.FT.
- LANDSCAPING SQUARE FEET
- F
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- 1.
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)

NOTES

FIRE RATED WALLS

- ALL PARTY WALLS SHALL BE 1 HOUR RATED STC50
 - WALLS IN SHAFTS AS ELEVATOR, STAIRWAY, ETC SHALL BE 2 HOURS RATED
 - CORRIDORS SHALL BE 1 HOUR RATED
 - ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED.
- * WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.



G.A. ENGINEERING

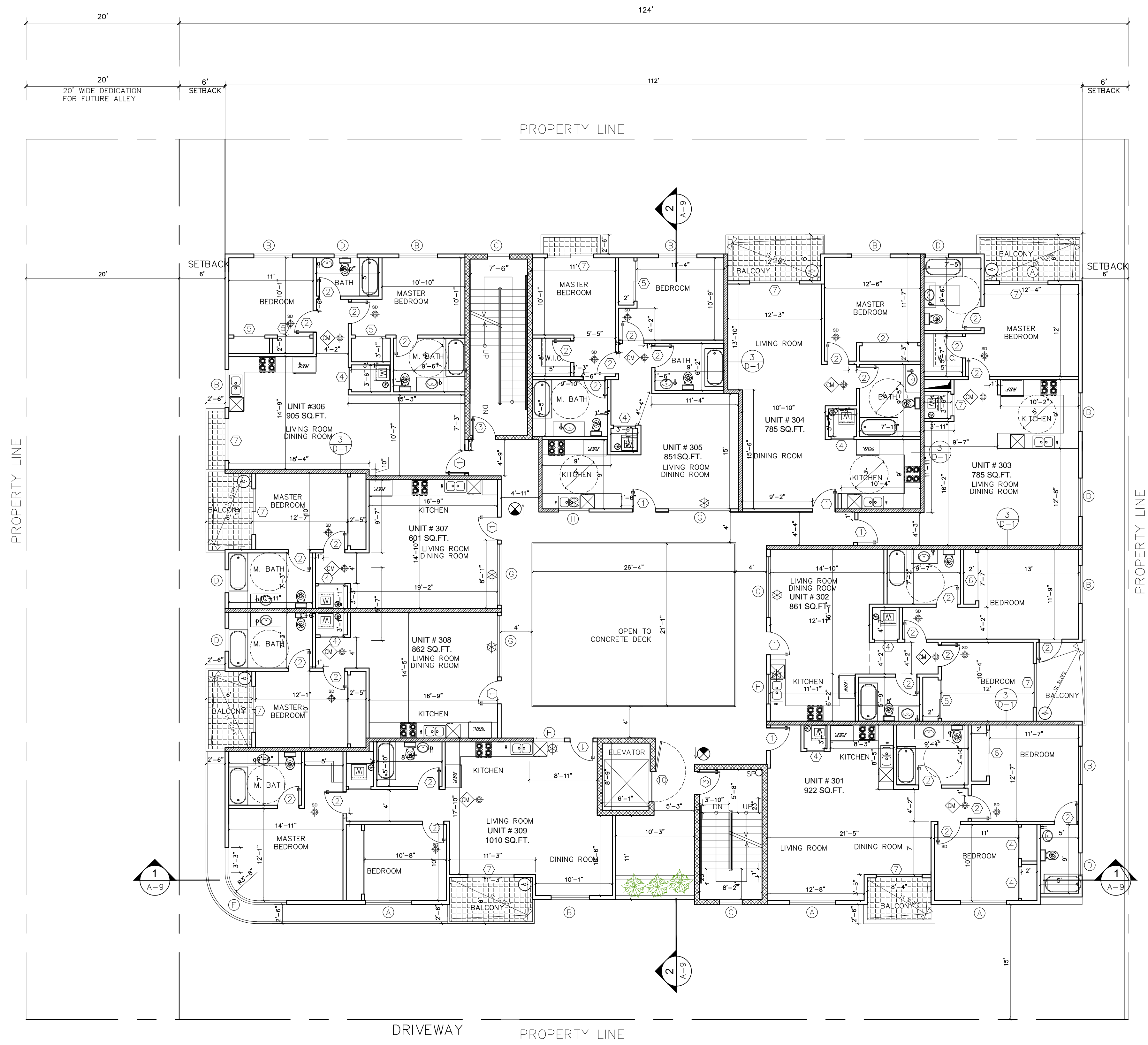
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REVISION	BY

OWNER	PROJECT	DRAWING TITLE
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309	18529 W. CALVERT ST. RESEDA,	SECOND FLOOR PLAN

DATE: MARCH 2015
SCALE: 1/8"=1'-0"
DRAWN: SA.
APPROVED: VA.
JOB : 14-553
SHEET: A-4

SHEETS



THIRD FLOOR PLAN

SCALE : 1/8"=1'-0"

LEGEND

- WALL
- 2 HOUR RATED STC 50
- 1 HOUR RATED STC 50
- SD
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CM
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- EXIT SIGN
- WATER CURTAIN
- WATER HEATER
- CLASS "I" STANDPIPE
- 1. BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CBO#2360) OR EQUAL, ICC-ESR-1757 TYPE
- SQ.FT.
- LANDSCAPING SQUARE FEET
- F
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- 1.
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)

NOTES

FIRE RATED WALLS

- ALL PARTY WALLS SHALL BE 1 HOUR RATED STC50
 - WALLS IN SHAFTS AS ELEVATOR, STAIRWAY, ETC SHALL BE 2 HOURS RATED
 - CORRIDORS SHALL BE 1 HOUR RATED
 - ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED.
- * WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.



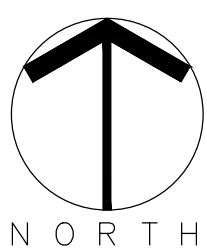
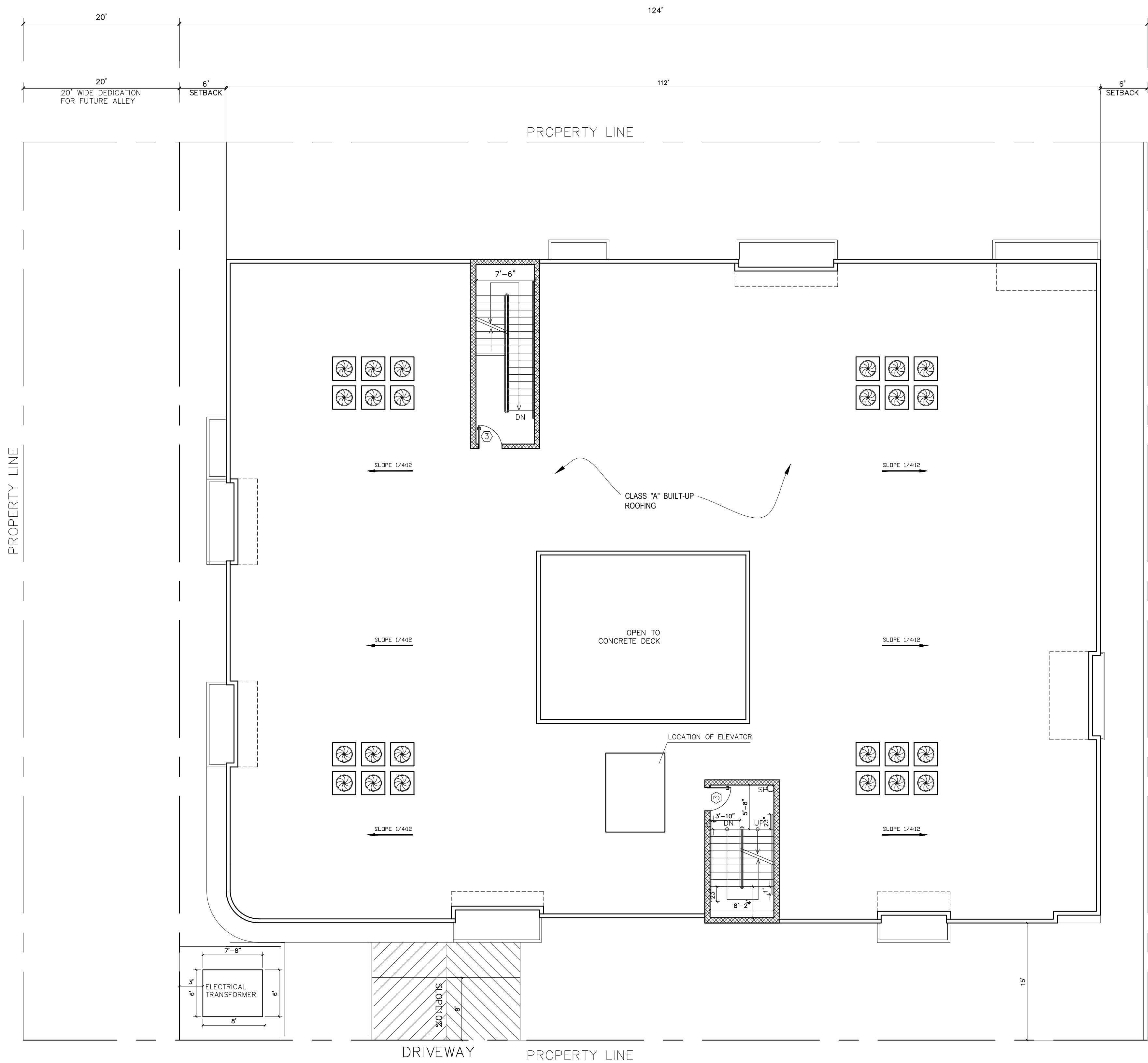
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fax : (818) 708-2847

REVISION	BY

OWNER	PROJECT	DRAWING TITLE
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309	18529 W. CALVERT ST. RESEDA,	THIRD FLOOR PLAN

DATE: MARCH 2015
SCALE: 1/8"=1'-0"
DRAWN: SA.
APPROVED: VA.
JOB : 14-553
SHEET: A-5
SHEETS



L E G E N D

- WALL
- 2 HOUR RATED STC 50
- 1 HOUR RATED STC 50
- SD
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CM
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- EXIT SIGN
- WATER CURTAIN
- WATER HEATER
- CLASS "I" STANDPIPE
- 1.
- BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CBO#2360) OR EQUAL, ICC-ESR-1757 TYPE
- SQ.FT.
- LANDSCAPING SQUARE FEET
- F
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- 1.
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)

N O T E S

FIRE RATED WALLS

- ALL PARTY WALLS SHALL BE 1 HOUR RATED STC50
 - WALLS IN SHAFTS AS ELEVATOR, STAIRWAY, ETC SHALL BE 2 HOURS RATED
 - CORRIDORS SHALL BE 1 HOUR RATED
 - ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED.
- * WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.

G.A. ENGINEERING

19562 VENTURA BLVD.SUITE 230
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REVISION	BY

OWNER

MARK COLESTANI 6520
PLAAT AVE # 904 WEST
HILL CA 91309

PROJECT

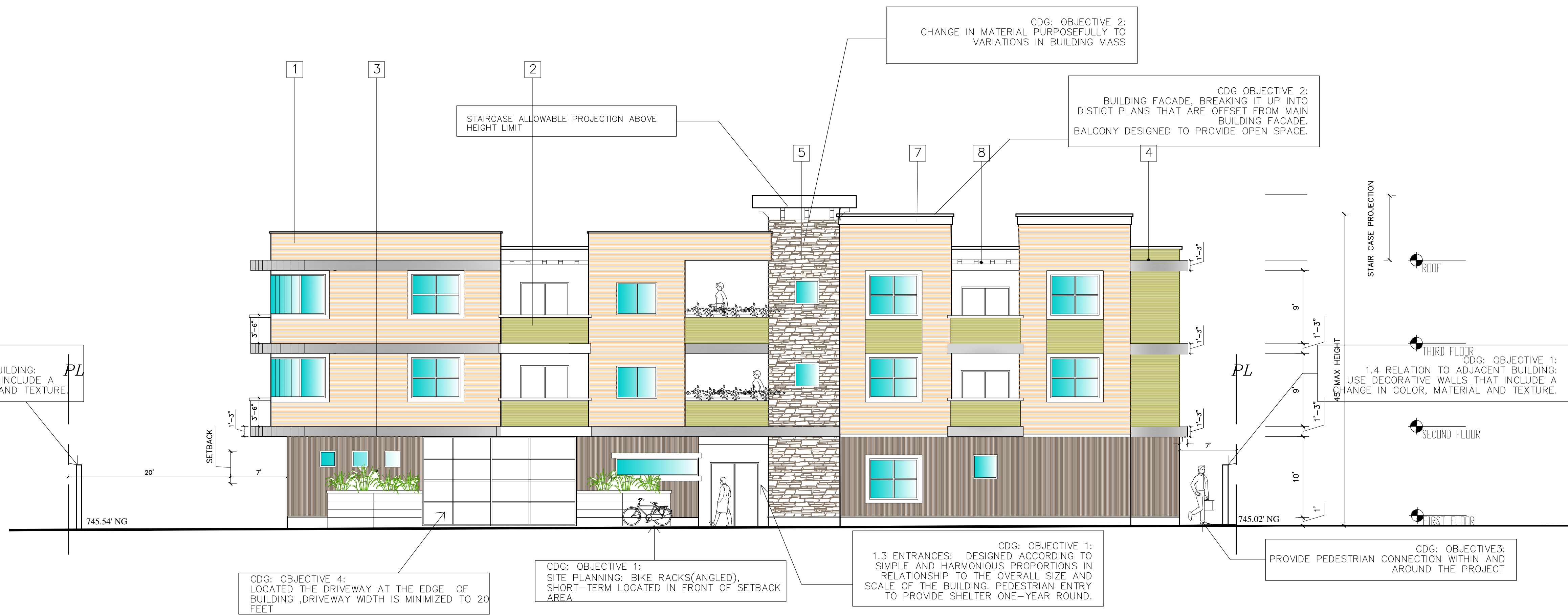
18529 W. CALVERT ST.
RESEDA,

DRAWING TITLE

ROOF PLAN

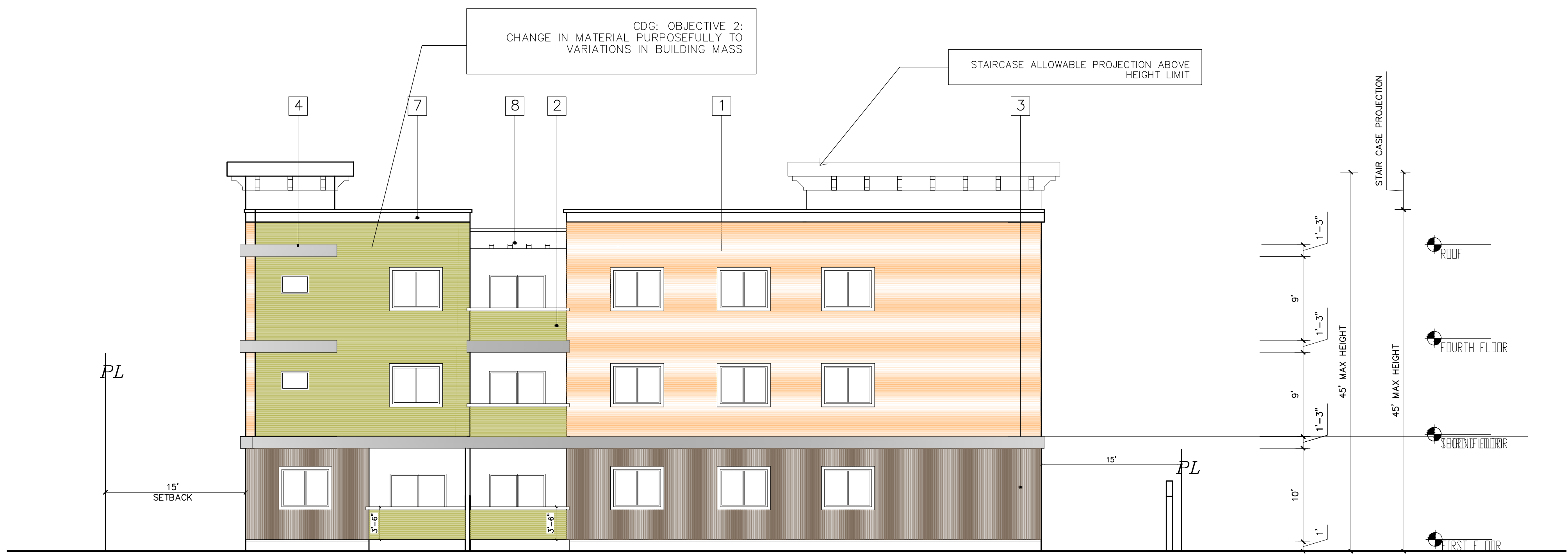
DATE:	MARCH 2015
SCALE:	1/8"=1'-0"
DRAWN:	SA.
APPROVED:	VA.
JOB :	14-553
SHEET:	A-6

SHEETS



SOUTH ELEVATION

SCALE : 1/8"=1'-0"



EAST ELEVATION

SCALE : 1/8"=1'-0"

L E G E N D

ELEVATION KEY NOTES:

- 1)*STUCCO COLOR CODE(112 TILLAMOOK A-100)
- 2)*STUCCO COLOR CODE(732 OLIVE B-200)
- 3)*STUCCO COLOR CODE(580 BUCKSKIN B-200)
- 4)*STUCCO COLOR CODE(148 FRENCH WHITE A-200)
- 5) LEDGESTONE (CARAMEL MOUNTAIN)
- 6) 42" HIGH GUARDRAIL W/BROWN COLORED
- 7) STUCCO MOULDING, SILL WHITE OR COLOR 1COLONIAL WHITE A-100
- 8) TRELLIS

7/8" STUCCO OVER PAPER BACK WIRE MESH
* PROVIDE 2-LAYERS OF GRADE " D " PAPER OVER PLYWD.

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REVISION	BY

OWNER

MARK COLESTANI 6520
PLAAT AVE # 904 WEST
HILL CA 91309

PROJECT

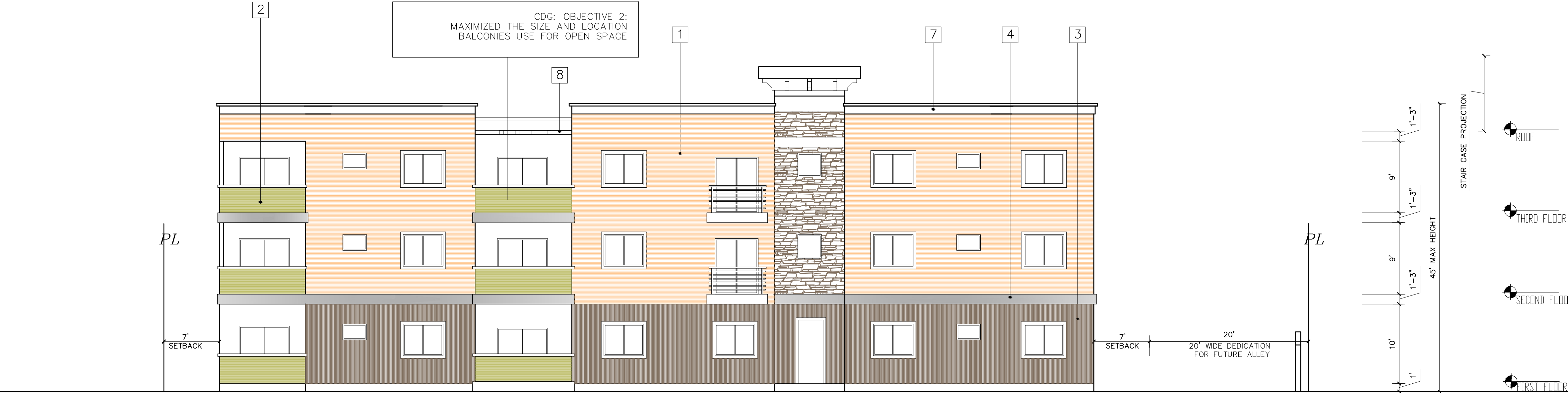
18529 W. CALVERT ST.
RESEDA, CA 91335

DRAWING TITLE

SOUTH ELEVATION
EAST ELEVATION

DATE:	MURCH 2015
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	VA.
JOB :	14-533
SHEET:	

A-7
SHEETS



NORTH ELEVATION

SCALE : 1/8"=1'-0"



WEST ELEVATION

SCALE : 1/8"=1'-0"

L E G E N D

ELEVATION KEY NOTES:

- 1 *STUCCO COLOR CODE(112 TILLAMOOK A-100)
- 2 *STUCCO COLOR CODE(732 OLIVE B-200)
- 3 *STUCCO COLOR CODE(580 BUCKSKIN B-200)
- 4 *STUCCO COLOR CODE(148 FRENCH WHITE A-200)
- 5 LEDGESTONE (CAMEL MOUNTAIN)
- 6 42" HIGH GUARDRAIL W/BROWN COLORED
- 7 STUCCO MOULDING, SILL WHITE OR COLOR 1COLONIAL WHITE A-100
- 8 TRELLIS

7/8" STUCCO OVER PAPER BACK WIRE MESH
* PROVIDE 2-LAYERS OF GRADE " D " PAPER OVER PLYWD.

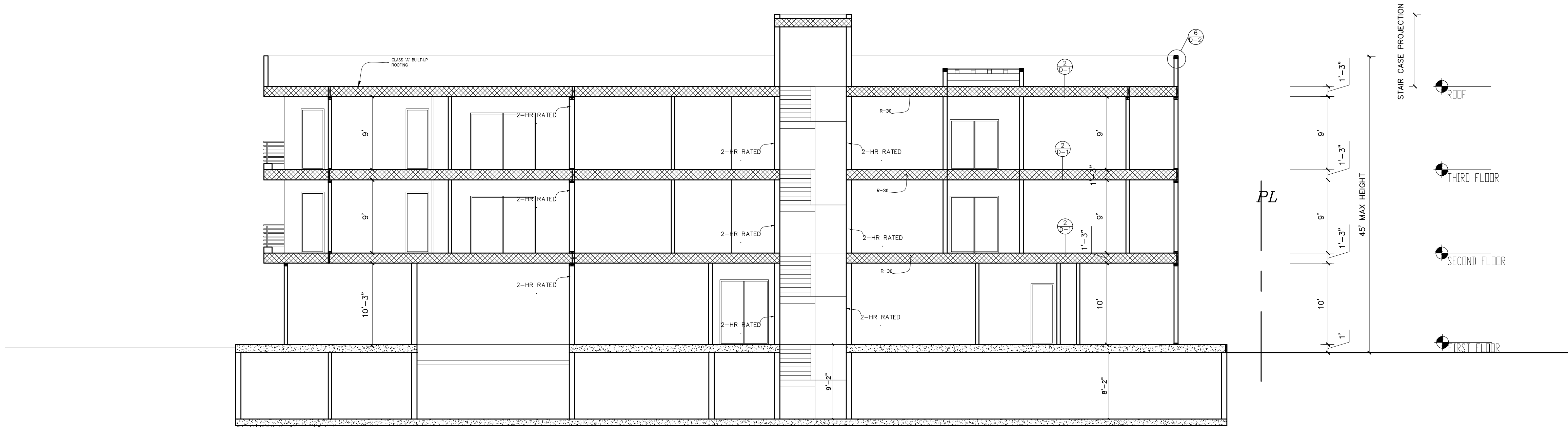
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REVISION	BY

OWNER	PROJECT	DRAWING TITLE
MARK COLESTANI 6520 PLAAT AVE # 904 WEST HILL CA 91309	18529 W. CALVERT ST. RESEDA, CA 91335	SOUTH ELEVATION EAST ELEVATION

DATE:	MARCH 2015
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	VA.
JOB :	14-533
SHEET:	A-8

SHEETS



SECTION-1

SCALE : 1/8"=1'-0"

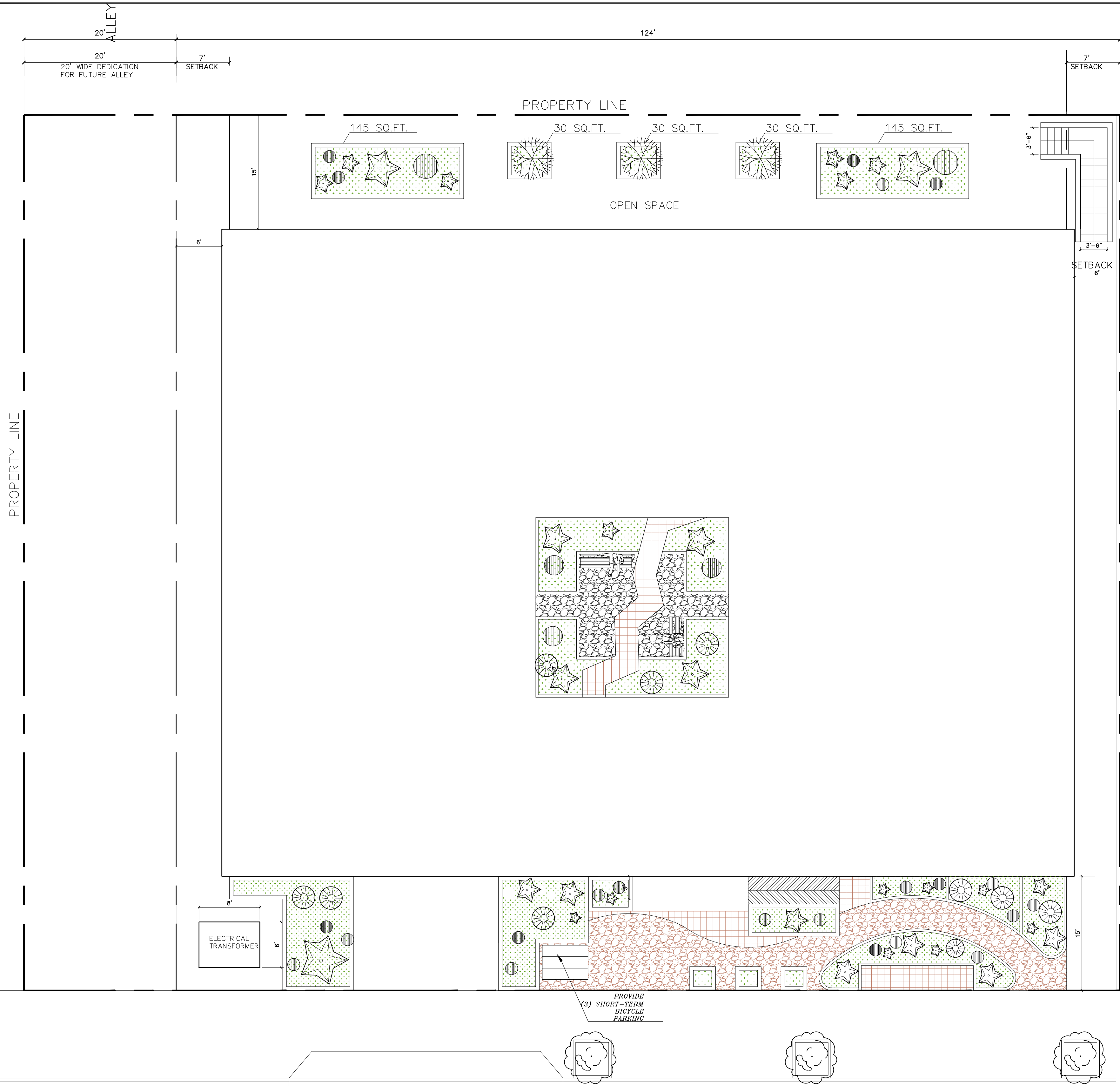


SECTION-2

SCALE : 1/8"=1'-0"

L E G E N D

G.A. ENGINEERING 19562 VENTURA BLVD.SUITE 230 TARZANA , CALIFORNIA 91356 Phone : (818) 758-0018 Cell : (818) 203-3336 fax : (818) 708-2847		REVISION		BY	



FIRST FLOOR LANDSCAPING PLAN

SCALE : 1/8"=1'-0"

OPEN SPACE CALCULATION

REQUIRED

NO. OF BEDROOMS	NO. OF HABITABLE ROOMS	QUANT.	OPEN SPACE
1	2	10	10 X 100 = 1000
2	3	14	14 X 125 = 1,750
3	4	—	0 X 175 = 0
TOTAL		24	2,750 SQ.FT.

PROVIDED

AREA DESCRIPTION	OPEN SPACE
CENTER COURT YARD, FIRST FLOOR	548 SQ.FT.
BALCONES, 18 X 50	900 SQ.FT.
REAR YARD	1,500 SQ.FT.
TOTAL	2,948 SQ.FT.

OPEN SPACE LANDSCAPING

CENTER COURT YARD, FIRST FLOOR	548 SQ.FT.
REAR YARD	1500 SQ.FT.

LANDSCAPING AREA

548 X 25% = 137 SQ.FT.

LANDSCAPING AREA (REAR YARD).

1500 X 25% = 375 SQ.FT.

All trees to be planted with commercial root barriers.

USE CLASS I OR CLASS II COMPOST AS A SOIL AMMENDMENT

IN ALL LANDSCAPED AREAS

PLANTING LECEND			
SHRUBS AND GROUND COVER LEGEND			
SYM.	BOTANICAL	COMMON NAME	QTY. SIZE REMARKS
5-gal	Aloe striata	RED TRUMPET VINE	5-gal w/2" deep crushed rocks
5-gal	Agave attenuata	INDIAN HAWTHORN	25 5-gal
5-gal	PHORMIUM H. FLAMINGO	Giant Feather Grass	18 5-gal
1-gal	Stipa gigantea		18 1-gal
TREE LEGEND			
SYM.	BOTANICAL	COMMON NAME	QTY. SIZE REMARKS
24" BOX	PARKINSONIA ACULEATA	Tree	3 24" BOX
15" BOX	TBD BY URBAN FORESTY	Tree	3 15" BOX
2" deep shredded Cedar bark to spread between plants.			
LANDSCAPING PONTS PROVIDED		LANDSCAPING PONTS REQUIRED	
LARGE TREES: 10 X2=20		PROJECT SITE: 24,502 SQ.FT.	
LESS THAN 30' DN 10X2=20			
CENTER PLANTING			
POINTS PROVIDED: 40		POINTS REQUIRED: 24	

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MARK COLESTANI 6520
PLAAT AVE # 904 WEST
HILL CA 91309

PROJECT
18529 W. CALVERT ST.
RESEDA, CA 91335

DRAWING TITLE
LANDSCAPE PLAN

DATE: JUN 2014

SCALE: 1/8"=1'-0"

DRAWN:

APPROVED: VA.

JOB : 14-533

SHEET:
L-1

SHEETS